

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY;

COUNTY OF Sussex SS:

Herdi Mountford of full age, being duly sworn

according to law on oath deposes and says, that the deponent resides at 921 Mount  
Benevolence Rd in the Municipality of Stillwater

in the County of Sussex and the State of New  
Jersey; that Herdi Mountford

is the owner in fee of all that certain lot, piece of parcel of land situated, lying, and being in the  
municipality aforesaid, and known and designated as Calendar Number 7/2/20.

HB Mountford  
Owner to Sign Here

Sworn to and subscribed, before me,

This 9th day of July 2020.

W. Messina  
A Notary Public of New Jersey

Wendy A Messina  
Notary Public of New Jersey  
Commission ID# 2434008  
Commission Expires 3/11/23

AUTHORIZATION

(If anyone other than above owner is making this application, the following authorization must be executed.)

TO THE ZONING BOARD OF ADJUSTMENT:

\_\_\_\_\_ is hereby authorized to make the within  
application.

DATED: \_\_\_\_\_ 20\_\_

\_\_\_\_\_ Owner to sign here

**STATUS OF TAXES FORM**

**STATUS OF TAXES REQUIRED:** Request from Stillwater Township Tax Collector, at least 15 days, prior to the due date of submission to the Zoning Officer.

-----

**SITE INSPECTION AUTHORIZATION FORM**

I hereby give permission for Stillwater Township Municipal Agencies and their agents to come upon

and inspect these premises with respect to this application for: 1008 Mount  
Benevolence Rd, Newton NJ 07860

on Block 602, Lot 13

Applicant's Signature: Herdi Mountford

Owner's Signature: HB Mountford  
(if different from applicant)

Date: 7-2-20





## Stillwater Township

Sussex County

964 Stillwater Road, Newton, NJ 07860

(973) 383-9484

Fax: (973) 383-8059

### Notice of Zoning Permit Application Denial

June 25, 2020

Heidi Mountford  
921 Mt. Benevolence Road  
Newton, N.J. 07860

RE: Denial of Zoning Permit Application for 1008 Mt. Benevolence Road,  
Block 602, Lot 13

Dear Ms. Mountford:

The application submitted to construct an a one story addition 14' by 18' over the existing deck that was 12' by 16' and add a new deck 14' by 10' to the rear of the house was denied. Variances will be required from Stillwater Township ordinance for the following:

Stillwater Township Ordinance 240-105 Nonconforming uses and lots.; B. Enlargement of nonconforming uses and structures. No nonconforming building may be enlarged or expanded to cover a larger area than it occupied at the date of adoption of this chapter, except that where an existing lot is improved with a building or structure which is nonconforming due to location, such lot may be further improved by an addition to such building or structure, provided that he existing nonconforming setbacks may be extended but not further encroached upon; and 240-106 R 7.5 Residential District.; D. (4) Principal buildings shall have a required setback of 75 feet from the rear lot line.

The rear addition you added to the house encroached further into the rear yard setback which was nonconforming, therefore two C variances will be needed for the rear setback and for further encroaching into a nonconforming rear yard setback.

If you have any questions I am in the office on Tuesday between 12:00 PM and 4:00 PM, on Thursday between 2:00 PM and 4:00 PM, and on Friday between 8 AM and 4:00 PM at 973-383-9484 ext. 29 or by email at [zoning@stillwatertwp.com](mailto:zoning@stillwatertwp.com).

A handwritten signature in cursive script, appearing to read "Arlene Fisher".

Arlene Fisher  
Zoning and Code Enforcement Official

Stillwater Township  
Zoning Officer  
964 Stillwater Road  
Newton, NJ 07860  
(973)383-6332  
Fax: (973)383-8059

ZONING PERMIT NO. 206-45-20 ZONING DISTRICT R-7.5

Date 6/12/20 Block 002 Lot 13 Phone # 973-222-6904

Owner Herdi Mountford Applicant Herdi Mountford

Address of Owner 921 Mt. Benevolence Rd Newton, NJ 07860

Address of Applicant Same as above

Property Location 1008 Mt. Benevolence Rd Newton, NJ 07860

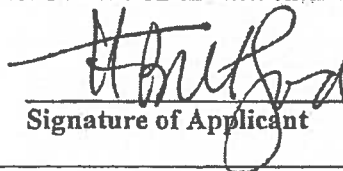
A PLOT PLAN OR SURVEY OF THE PROPERTY SHOWING EXISTING AND PROPOSED STRUCTURES, DIMENSIONS OF STRUCTURES, DISTANCES FROM PROPERTY LINES, LOCATION OF SEPTIC TANK AND LEACH FIELD, AND LOCATION OF ANY BUILDING CONSTRAINTS (i.e. SLOPES, FLOODPLAINS, WETLANDS, STREAMS, ETC.) MUST BE INCLUDED WITH THE APPLICATION.

The proposed work at the above described premises together with any building thereon is to be used as (describe the proposed work): On site of deck (12x16) build a one story

addition 14'x18' along w/ a new deck of 14x10

State whether the property has been the subject of any prior applications to the Zoning Board of Adjustment or the Planning Board. If none, state none. If so, state the nature of the application, the date, the action of the Board(s). none

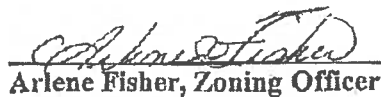
I hereby make application for a zoning permit for the change described above and on the attached plan or survey map. I understand that before starting construction, a building permit may be required. Answers to the above questions and representations made on the attachments to this application are true and complete to the best of my knowledge.

  
Signature of Applicant

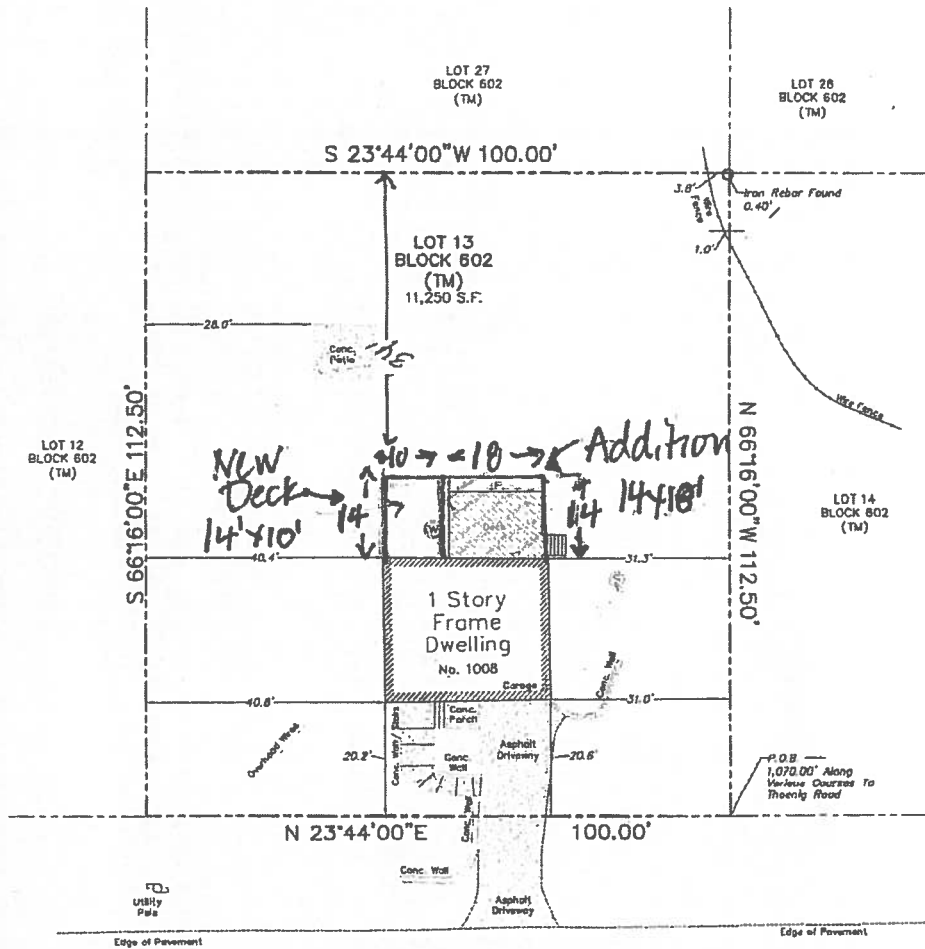
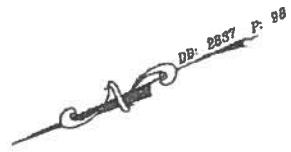
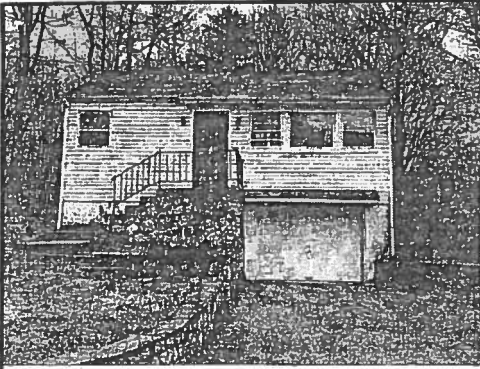
Approved \_\_\_\_\_ Date 6-12-20 Fee \$40<sup>00</sup> Check # 883 Cash \_\_\_\_\_

Denied  Reason Rear set back

Zoning Officer Hours:  
Tuesday 12 noon - 4 p.m.  
Thursday 2 - 4 p.m.  
Friday 8am. - 4p.m.

  
Arlene Fisher, Zoning Officer

rec  
6/29/20

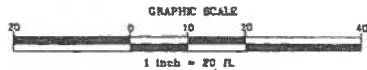


**MOUNT BENEVOLENCE ROAD**  
66' ROW

This survey certified to:  
Heidi Mountford

This survey references:  
Deed Book 2317 Page 98  
Deed Book 773 Page 472  
Survey of Lot 13 Block 602 by Lakeland Surveying Inc., dated June 17, 2004

**Notes:**  
Field Survey Performed on 04/13/10  
Subject to an accurate title search  
Subject to disclosures of record  
Survey performed without the benefit of a complete title search and subject to municipal restrictions, easements of record and other facts that a title search may disclose



I declare that this plan is based on actual field survey performed by Lakeland Surveying, Inc., under my direct supervision, in accordance with N.J.A.C. 17:27 and to the best of my professional knowledge, information and belief, correctly represents the conditions found on the date of the field survey, except such omissions, if any, before the surface of the lot is not visible. This declaration is given solely to the client and is not intended to be a warranty. Survey is void only if not cross-referenced. Survey is void only if not cross-referenced. This plan is made to provide information in this format so that it may have title to the land shown herein.

**SURVEY OF PROPERTY**  
Tax Lot 13 - Block 602  
1008 Mount Benevolence Road, Township of Stillwater  
Sussex County, New Jersey

PROJECT NUMBER  
04365  
REFERENCE NUMBER



Certificate of Authorization  
PROFESSIONAL

Marc J. Cifone  
PROFESSIONAL LAND SURVEYOR

Jeffrey S. Grunn  
PROFESSIONAL LAND SURVEYOR

A written Warranty and Description may be set. Current Warranties have been obtained from the title company pursuant to P.L. 2002, c.14 (S.406-42.7) and A.L.A.C. (S.406.5.1) 106.