

GENERAL NOTES

- Governing Codes and Standards
INTERNATIONAL RESIDENTIAL CODE U.C.C. NJ EDITION 2018
 - IBC Basic Energy Construction Code 2018
 - IBC Plumbing Code 2018
 - NEC ELECTRIC CODE 2017
- Fire Underwriters
-NFPA
-Local Utility Company Standards
-Local Codes and Ordinances
- All footings shall rest on firm undisturbed soil, having a minimum bearing capacity of 2 tons per sq. ft.
 - Bottom of footing to be minimum 3'-0" below finished grade.
 - Minimum compressive strength of concrete - 3000 psi in 28 days; 3,500 psi in 28 days for driveways, curbs, walks, patios, porches, copings and garage slabs; steps and other flatwork exposed to the weather. Concrete exposed to weather shall be air-entrained.
 - Exterior concrete porches, walks, aprons, etc. shall have non-slip broom finish; all other slabs shall have steel trowel finish.
 - Concrete block shall be load-bearing and shall contain stone aggregate below grade. Fill voids sold below girder bearing, minimum three courses.
 - Mortar below grade shall be type M or S. Other mortar, type m.s. or n.
 - Provide continuous masonry Duro-wall reinforcing at each second block course.
 - Structural Steel shall conform to ASTM - 36.
 - Minimum fiber stress in bending of structural lumber shall be 1400 psi for repetitive member use. Douglas fir #2 grade or better.
 - Fluorocarbon sheathing shall be Standard C-2 plugged INT-APA with exterior glue.
 - Treated wood blocking (w/alanized) where masonry contacts wood frame and where indicated.
 - Double joists around openings and parallel partitions.
 - Lintels for masonry openings shall be precast.
 - All flush framing members shall be framed with metal framing members.
 - Unless otherwise noted, all lintels over doors and windows shall be [2] x 12. Provide minimum [2] x 4 below lintels.
 - Firrestopping: Provide all necessary blocking and firrestopping as required by code.
 - Anchoring devices shall be of proper type and size to draw and rigidly secure members in place - exterior fastenings galvanized. Nailing shall be in accordance with BOCA Appx. rdx C, "Recommended Fastening Schedule"
 - Provide safety glazing in all doors, sidelites and other areas as required by code.
 - Rodion Abatement:
Provide a complete radon abatement system in accordance with all applicable national, state and local building codes. System shall be installed by a certified radon abatement contractor.
 - Smoke Detectors:
Supply and install a complete hard wire smoke detection system throughout. Smoke detectors shall be located at a minimum [1] at each bedroom in addition to [1] at each level of living space (Basement included). Smoke detection shall be wired to a dedicated circuit with emergency battery backup. Smoke Detectors in addition to those indicated on the drawings shall be supplied and installed at the direction of the fire subcode enforcement official.
 - Provide Carbon monoxide detectors as per building code
 - Exterior deck framing: All framing material to syp. 40 oca pressure treated material. ALL HANGERS TO HOT DIPPED GALVANIZED. ALL FLASHING TO BE COPPER OR EPDM/ VYCOR FLASHING. - NO ALUMINUM

BUILDING CODE INFORMATION

USE GROUP R-5 IRC LATEST N.J. EDITION 2018
CONSTRUCTION TYPE: SB UNPROTECTED FRAME
TOTAL AREA OF FIRST FLOOR: 895 SQ. FT.
TOTAL AREA OF NEW ADDITION: 252 SQ. FT.
TOTAL AREA OF GARAGE: 305 SQ. FT.
TOTAL AREA OF BASEMENT: 386 SQ. FT.
TOTAL AREA OF EXIST. FRONT PORCH: 55 SQ. FT.
TOTAL VOLUME OF BUILDING: 9564 CU. FT.
TOTAL VOLUME OF NEW ADDITION: 3360 CU. FT.

HEIDI MOUNTFORD
1008 MT. BENEVOLENCE RD., STILL WATER, N.J. PROJECT

ELIZABETH REEVE
ARCHITECT & PLANNER

06/09/2020
04/11/2020

ARCHITECTURE PLANNING INTERIORS HISTORIC PRESERVATION

27 GREGORY STREET NEWTON NJ 07860
NORTHVALE AVENUE 062.766.1914

1 OF 3 SHEET

CONSTRUCTION DRAWINGS 06/09/2020 MASTER BEDROOM UPDATE
CONSTRUCTION DRAWINGS 05/27/2020 INSULATION UPDATE SPRAY FOAM
CONSTRUCTION DRAWINGS 04/14/2020
PRELIMINARY DRAWINGS 04/11/2020

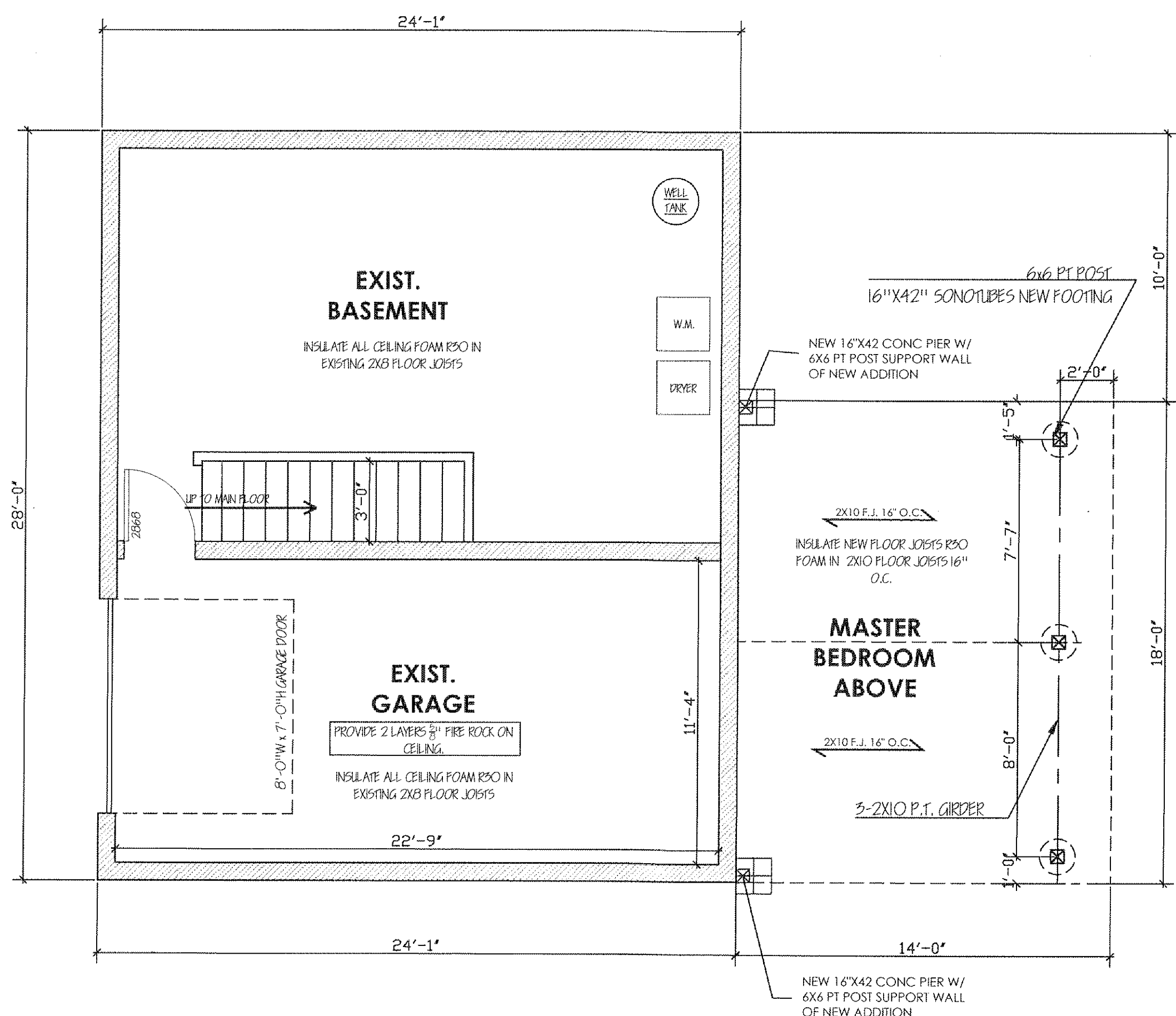
Rev No	Date	Rev No	Des	Chkd	Appr

CLIENT
HEIDI MOUNTFORD
RENOVATION + NEW ADDITION

PROJECT TITLE
1008 MT. BENEVOLENCE RD., STILL WATER, N.J.

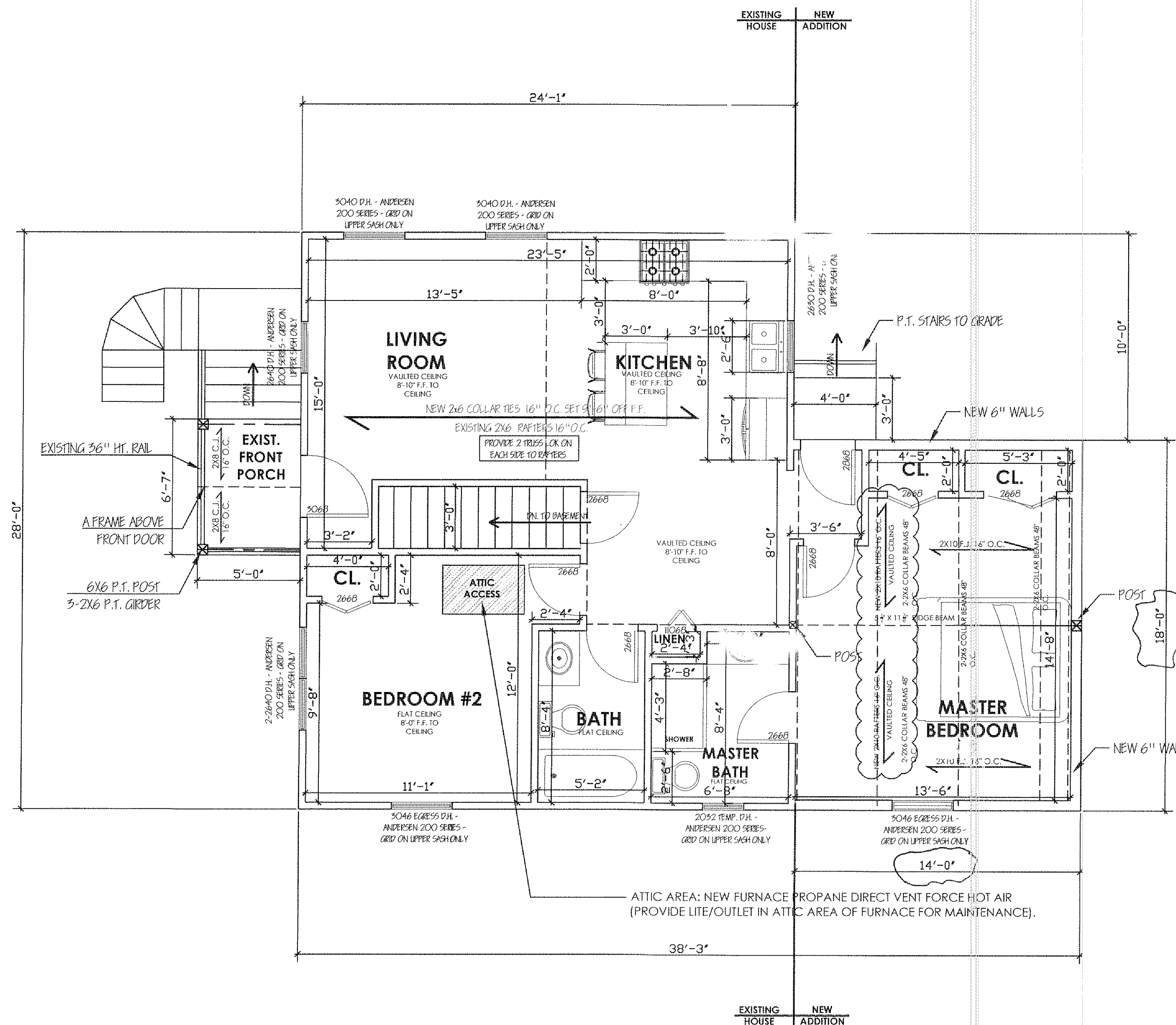
DWG TITLE
RENOVATION + NEW ADDITION

CITY	STATE	LOT	BLOCK
STILL WATER	NJ		
DATE	SCALE	DWN	CHKD
04/11/2020	1/4" = 1'-0"	PTK	PTK
PROJ. NO	CUST. NO	DWG. NO	
		SHEET 1 OF 3	



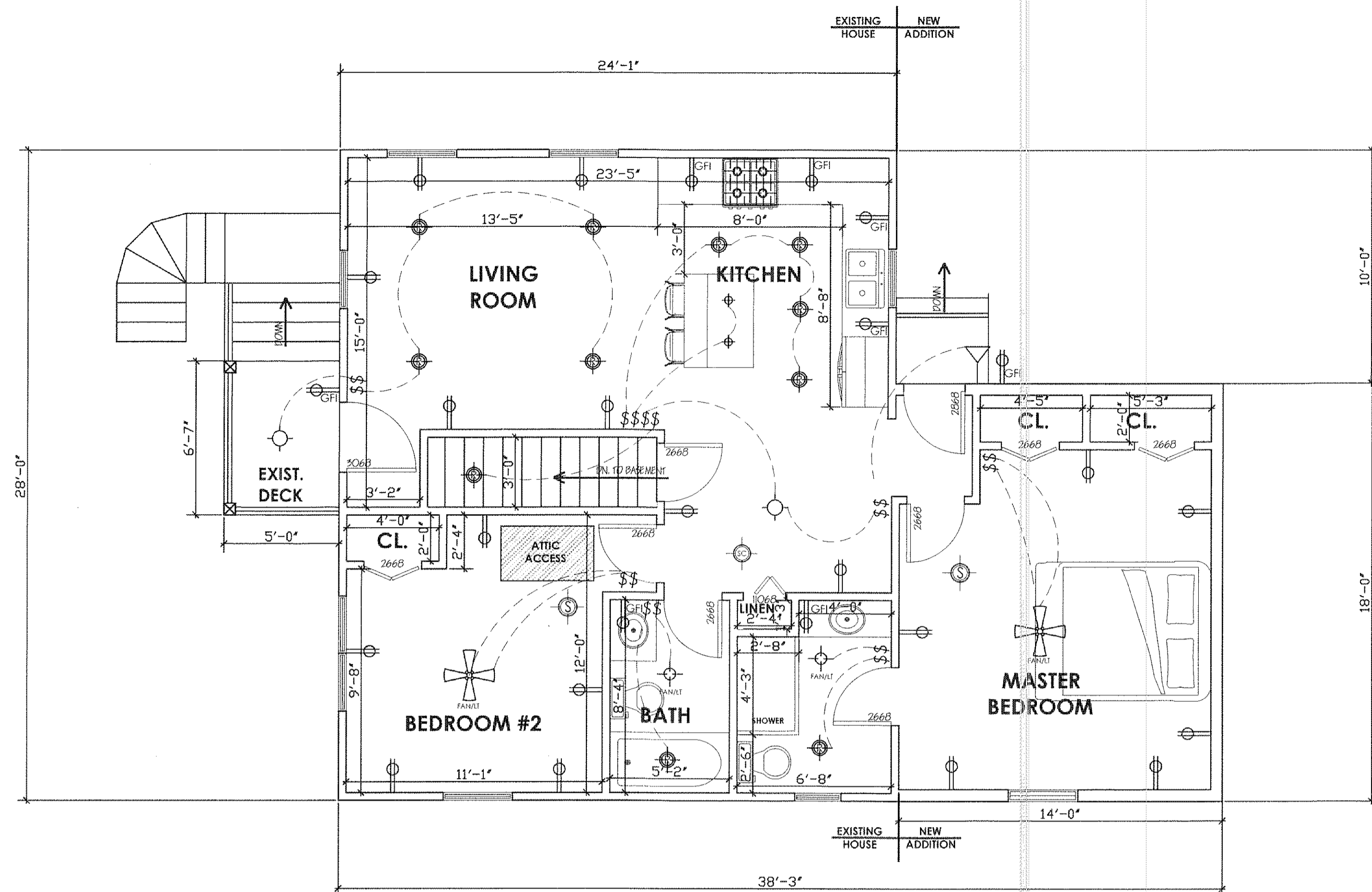
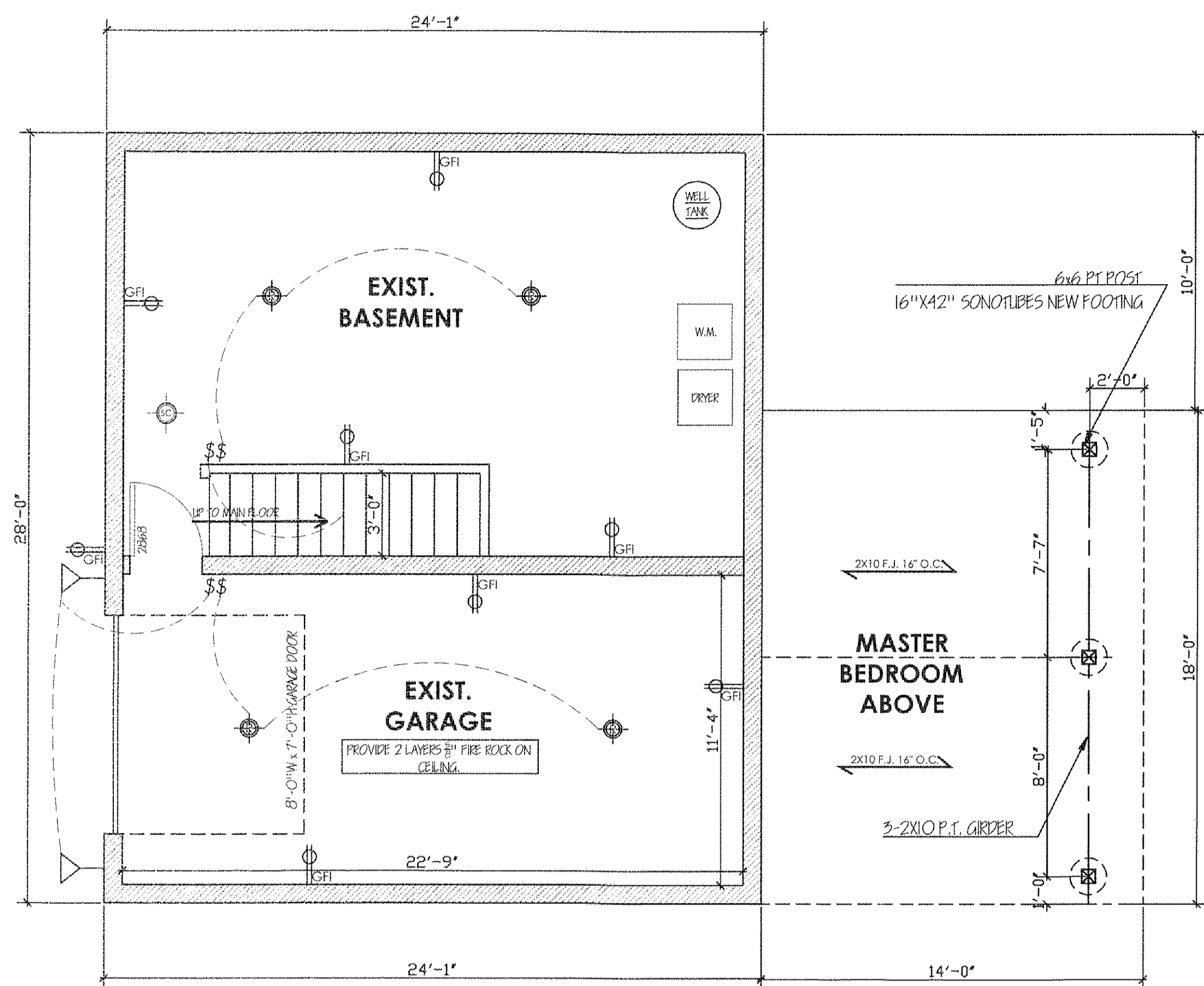
PROPOSED BASEMENT FLOOR PLAN

SCALE 1/4" = 1'-0"



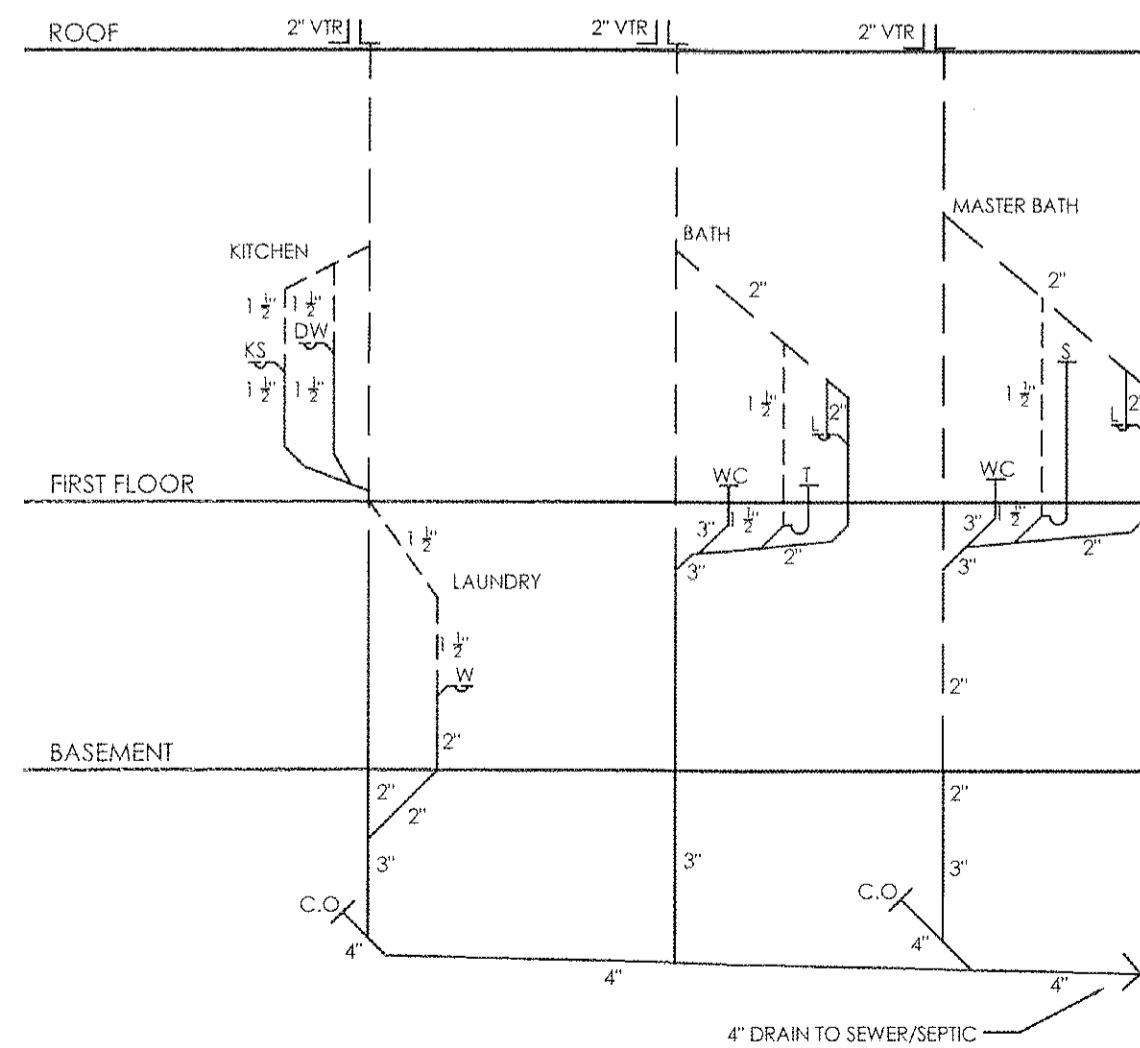
PROPOSED MAIN FLOOR PLAN

SCALE 1/4" = 1'-0"



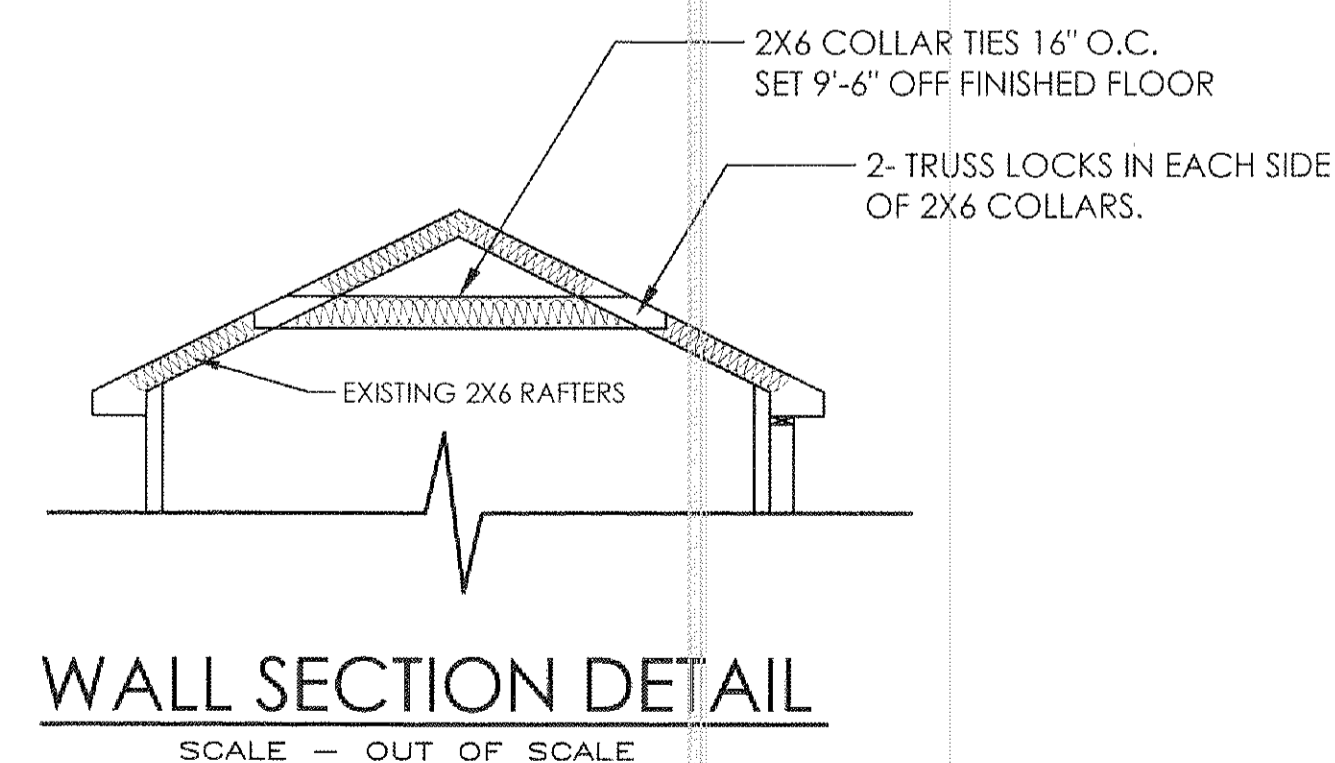
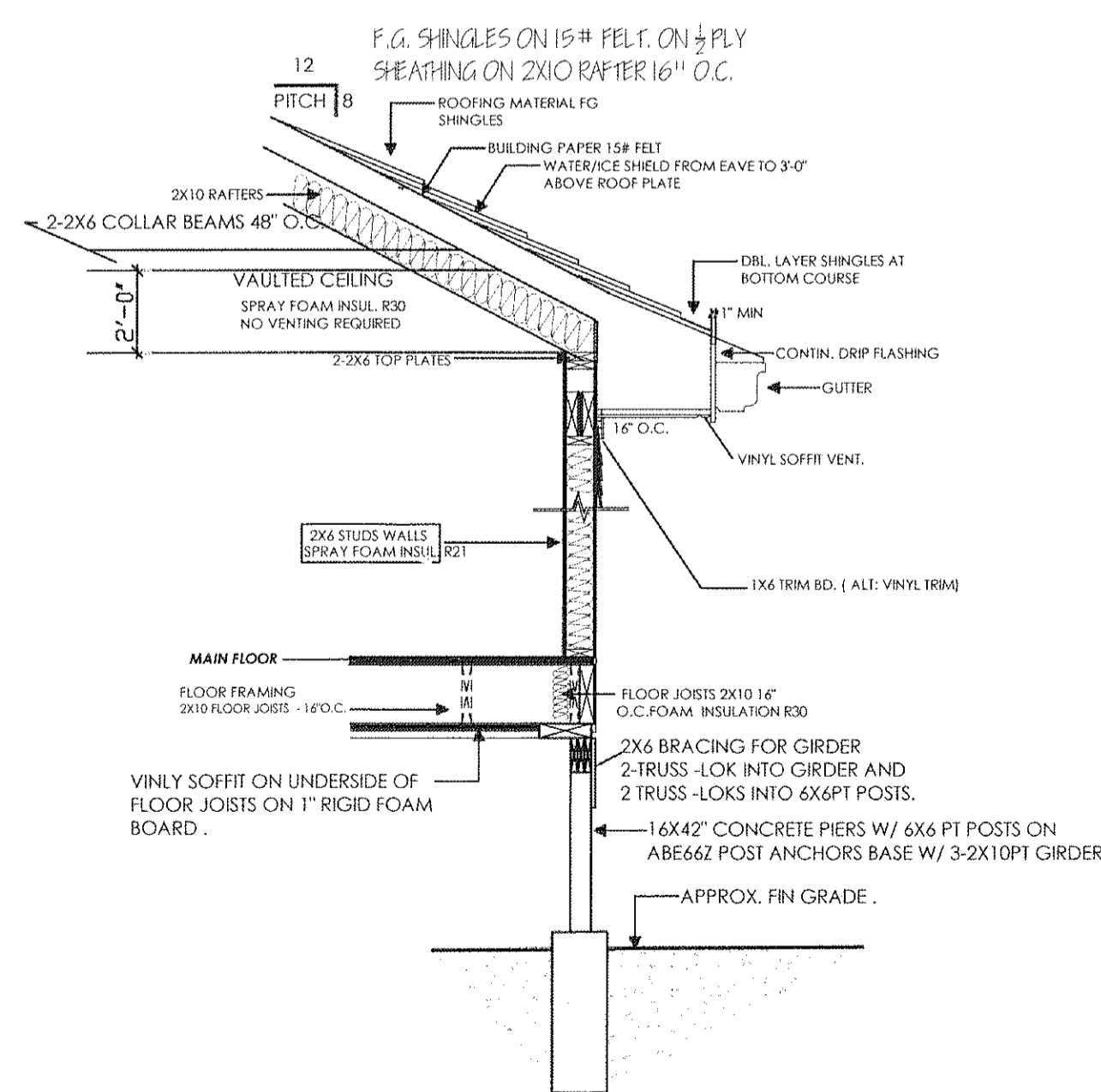
ELECTRIC SYMBOLS KEY

GFI OUTLET	SMOKE / HEAT DETECT.
110V OUTLET	CARBON MONOXIDE DETECT.
SWITCH	RECESSED LIGHT
OUTSIDE LITE	LIGHT FIXTURE
WALL VANITY LIGHT	PENDANT
CEILING FAN/LITE	BATHROOM FAN/LITE



SCHEMATIC PLUMBING RISER DIAGRAM

NOTE: LICENSED PLUMBER TO VERIFY PLUMBING RISER DIAGRAM AND ADJUST SIZES AS REQUIRED. ALL WORK TO CONFORM TO ALL APPLICABLE CODES.



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ARCHITECT & PLANNER

Elizabeth Reeve

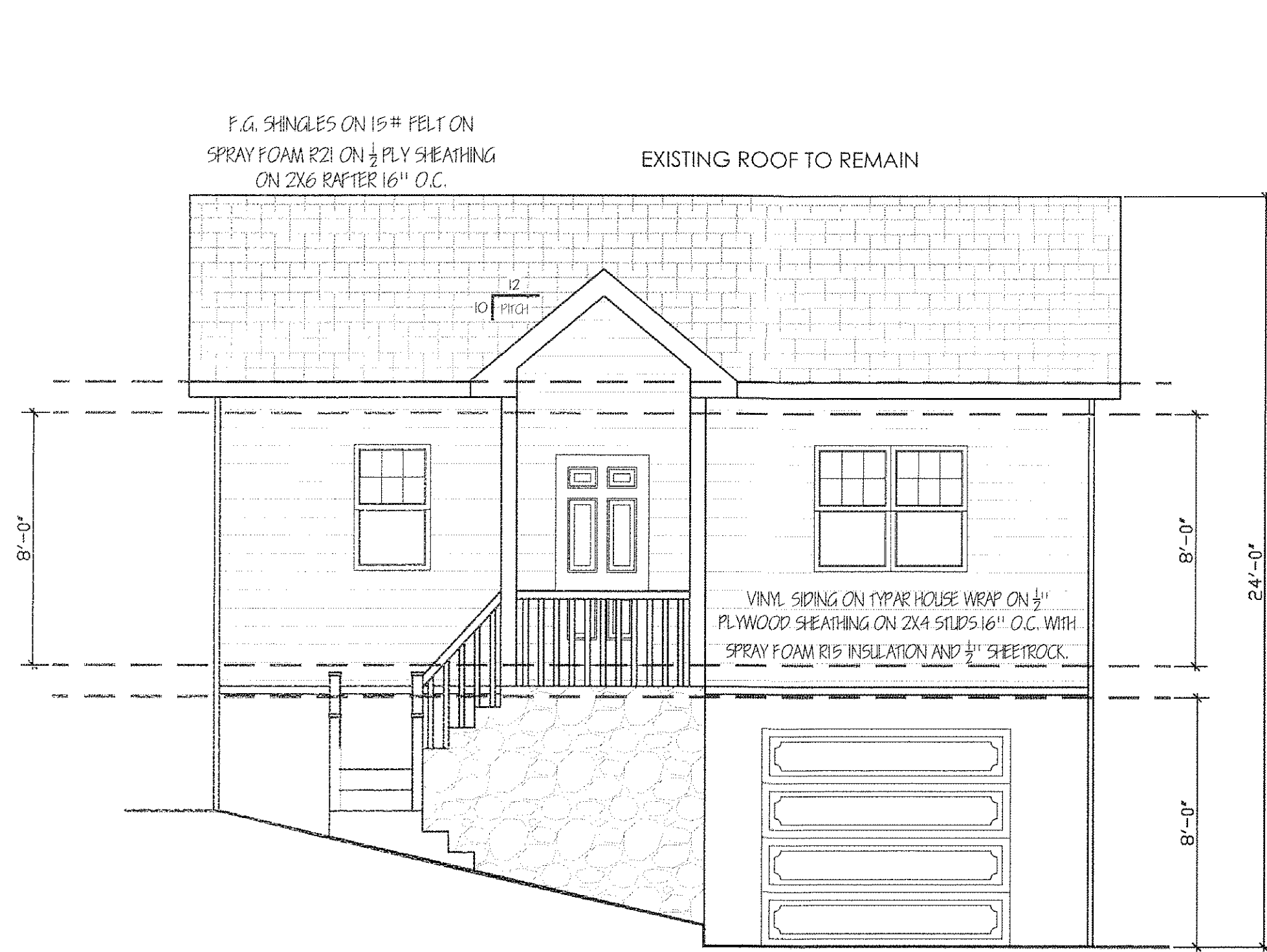
REVISIONS: PLANNING, INTERIORS, MECHANICAL, ELECTRICAL, PERMITS

27 CHURCH STREET NEWTON, NJ 07860
NJ LIC# N/A 08037 903.286.1894

05/27/2020 REVISION
04/11/2020 EMT
2 OF 3 SHEET

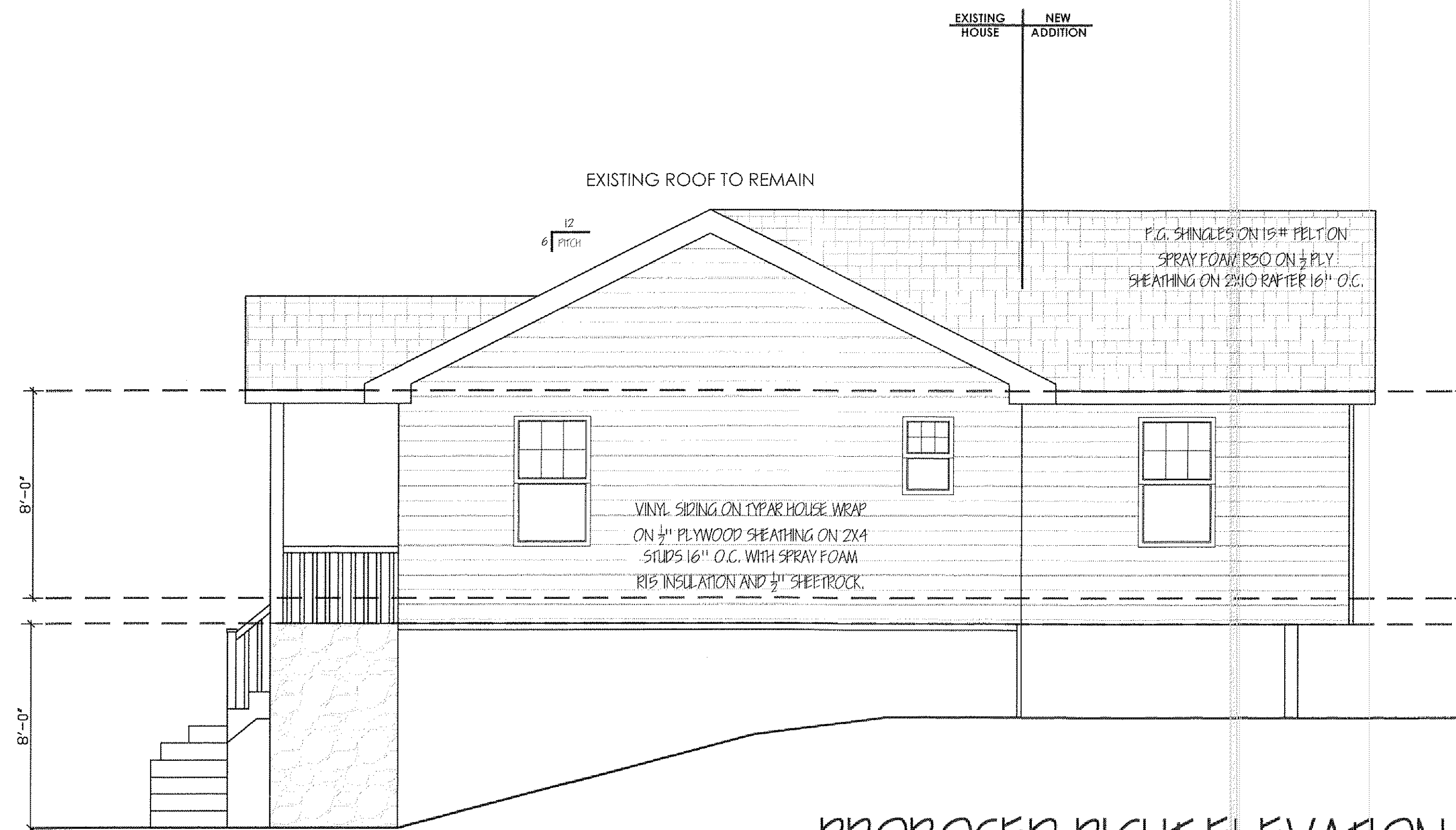
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Rev No	Date	Rev No	Des	Chkd	Appr
Approvals					
CLIENT					
HEIDI MOUNTFORD RENOVATION					
PROJECT TITLE 1008 MT. BENEVOLENCE RD., STILL WATER, N.J.					
DWG TITLE RENOVATION					
CITY STILL WATER	STATE NJ	LOT	BLOCK		
DATE 04/11/2020	SCALE 1/4" = 1'-0"	DWN PTK	CHK'D PTK		
PROJ. NO	CUST. NO	DWG. NO	SHEET 2 OF 3		



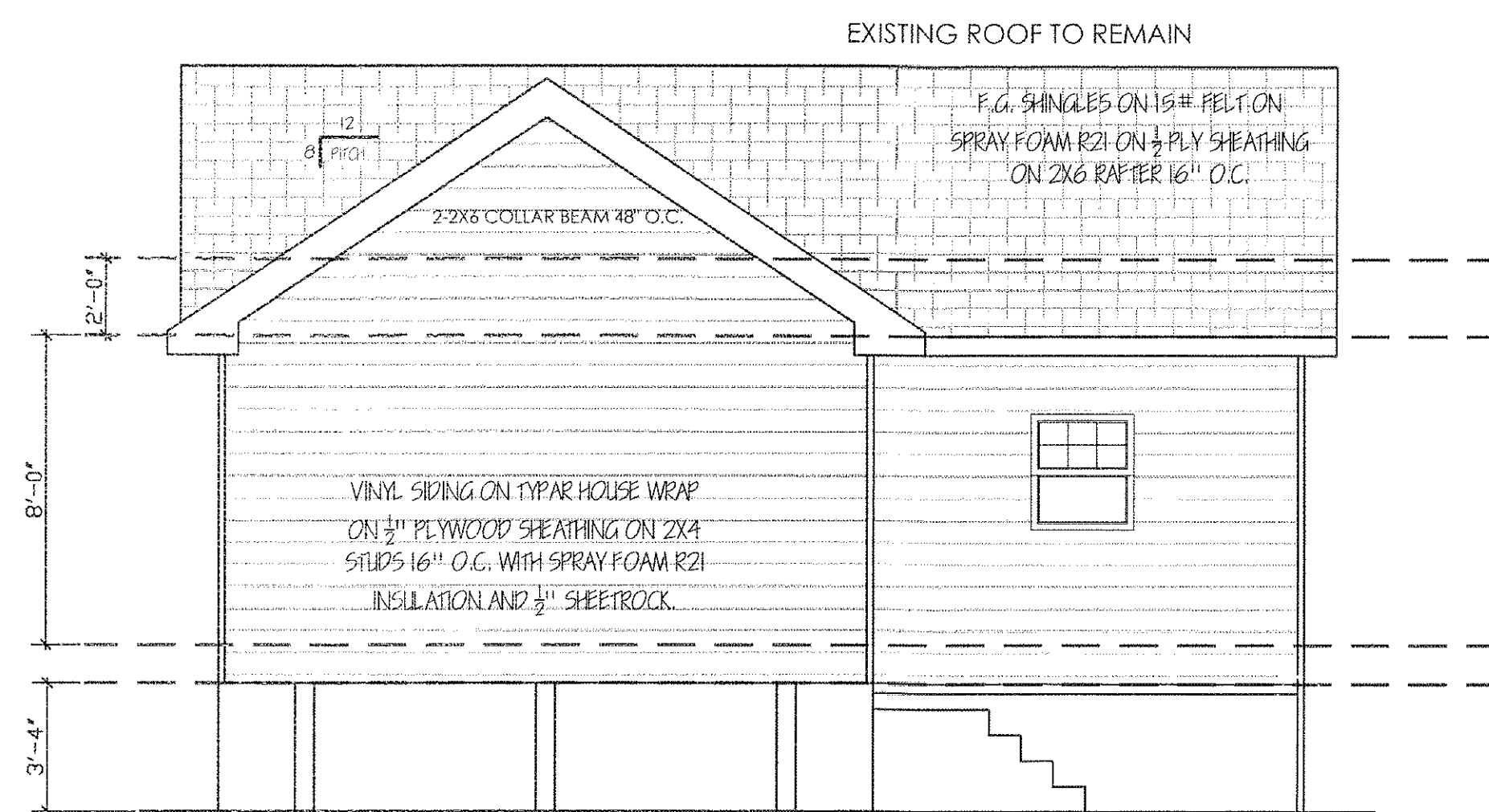
PROPOSED FRONT ELEVATION

SCALE 1/4" = 1'-0"



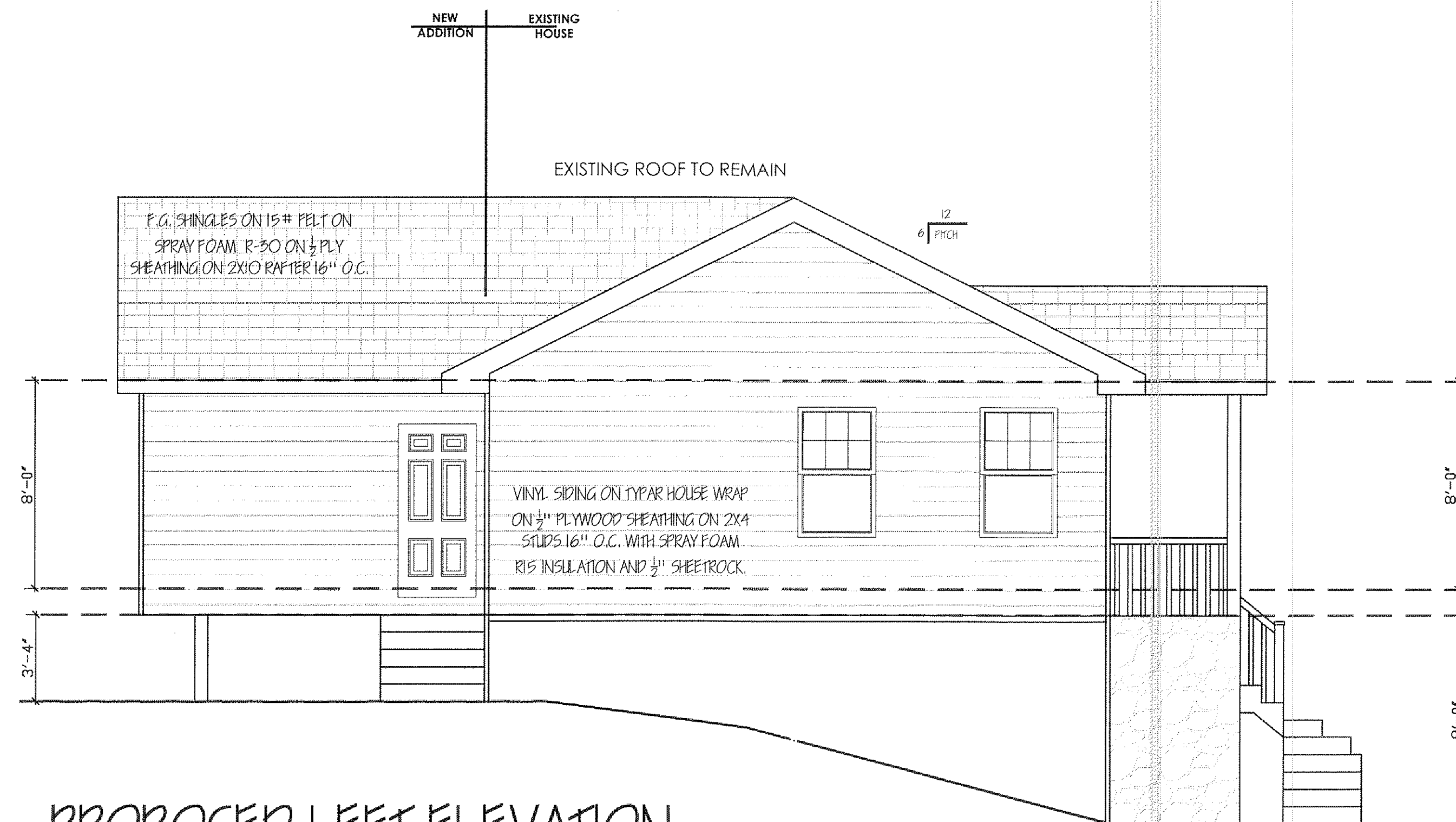
PROPOSED RIGHT ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED LEFT ELEVATION

SCALE 1/4" = 1'-0"

HEIDI MOUNTFORD
1008 MT. BENEVOLENCE RD., STILL WATER, N.J. PROJECT

ELIZABETH REEVE
ARCHITECT & PLANNER

Elizabeth Reeve

ARCHITECT: PLANNING: INTERIORS: RESIDENTIAL DESIGN:

22 CLURCH STREET NEWTON, NJ 07860 967.266.1991

04/09/2020 BY: ECR
04/11/2020 DWG: 3 OF 3 SHEET

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PROJ. NO.	CUST. NO.	DWG. NO. SHEET 3 OF 3	